3 WISTON GARDENS, DOUBLE BAY, NSW

ARCHITECTURAL DOCUMENTATION FOR DEVELOPMENT APPLICATION

LOCATION MAP



DRAWING LIST

8202

Private Open Space Diagrams

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BASIX

Assessor # 20420 Certificate # 0005046099 Issued: 270720

Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents

Windows Single glazed	Product ID	<i>Glass</i> Clear	Frame Aluminium	<i>U value</i> 6.70	SHGC 0.70	Area M²	Detail As per plans	
Skylights	Product ID	Glass	Frame	U value	SHGC	Area M²	Detail	

Window and skylight U and SHGC values, if specified, are according to ANAC 2005. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

	External walls	Construction	Insulation	Colour – solar abs.	Detail
	Concrete panels		R1.5	Light	As per plans
	Internal walls	Construction	Insulation	Detail	
	Plasterboard/Brick		None	As per plans	
	Floors	Construction	Insulation	Covering	Detail
	Concrete		R2.0/None	Varies	As per plans. Insulation where car park below
	Ceilings	Construction	Insulation	Detail	
	Plasterboard		R2.5/None	Upper level insulation/wl	here adjoins exterior. No insulation elsewhere
	Roof	Construction	Insulation	Colour – solar abs.	Detail
	Concrete		None	Medium	As per plans
	Window cover	Internal (curtains)		External (awnings, shutt	rers, etc)
Title	Holland blinds			Soffits	
riue	Fixed shading	Eaves (width-inc. gutter	rs. h't abovewindows)	Location	
Comparative Compliant Scheme Diagr		(,	As per plans	
Neighbour View Catchment Analysis	0	O a sala sala sala sala sala sala		0	
Neighbour View Catchment Analysis	Overshadowing	Overshadowing structu	res	Overshadowing trees	
Neighbour View Catchment Analysis	NA				

Orientation, Exposure, Ventilation	and Infiltration				
Orientation of nominal north:	0	Living area open to entry:	Υ	Ventilated skylights:	N
Terrain category:	Suburban	Doors separate living areas:	N	Open fire, unflued gas heat:	N
Roof ventilation:	Unventilated	Stair open to heated areas:	Υ	Vented downlights:	N
Cross ventilation:	Standard	Seals to windows and doors:	Υ	Wall and ceiling vents:	N
Subfloor:	Grd/Enclosed	Exhaust fans without dampers:	N	-	
	Orientation of nominal north: Terrain category: Roof ventilation: Cross ventilation:	Terrain category: Roof ventilation: Cross ventilation: Suburban Unventilated Standard	Orientation of nominal north: Terrain category: Roof ventilation: Cross ventilation: O Suburban Unventilated Stair open to heated areas: Standard Seals to windows and doors:	Orientation of nominal north: Terrain category: Roof ventilation: Cross ventilation: O Suburban Unventilated Stair open to heated areas: Y Seals to windows and doors: Y Seals to windows and doors: Y	Orientation of nominal north: Terrain category: Roof ventilation: Cross ventilation: O Living area open to entry: Doors separate living areas: Stair open to heated areas: Stair open to heated areas: Y Ventilated skylights: Open fire, unflued gas heat: Y Vented downlights: Y Vented downlights: Y Wall and ceiling vents:

Water (minimum ratings)

Neighbour View Catchment Analysis

Photomontage - View 01

Photomontage - View 02

Photomontage - View 03 Photomontage - View 04

Photomontage - View 05 Photomontage - View 06 Photomontage - View 07

Photomontage - View 08

Shower Heads:	3 Stars (4.5-6 litres/min)
Toilets Flushing Systems:	4 Stars
Kitchen Taps:	5 Stars
Bathroom Taps:	5 Stars
Rainwater Tanks:	To unit 4 – 3000litres to serve pool and landscaping
Connected to:	
Collects runoff from	
roof (min):	60m² roof
Pool heating:	Gas

Energy (minimum ratings)

Dishwasher rating:

Hot Water System:	Gas fired boiler - communal
Cooker:	Gas hob/Electric oven
Dishwasher:	4.5 Stars
Fridge:	4 Stars
Clothes Drier:	3 Stars
Clothes washer:	5 Stars
Air con:	EER 3-3.5 rated

Lighting: LEDs within units; LEDs and Fluorescent in common areas

4 Stars

Clothes lines: Indoor and outdoor

Gearless traction with VVVF motor

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04.05.21

Alec Tzannes 4174 Mladen Prnjatovic 7468

Notes Regarding "Development Application Drawings" Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes

For Development Application

26.05.21 Amendments to Development Application

Amendments to Development Application Amendments to Development Application

F G	01.06.21 03.06.21		Development Application Development Application
Client			
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	phen Da 029 797	vies, Urbis	sdavies@urbis.con

Tzannes

Bronze Finish Metal

Glass - Clear



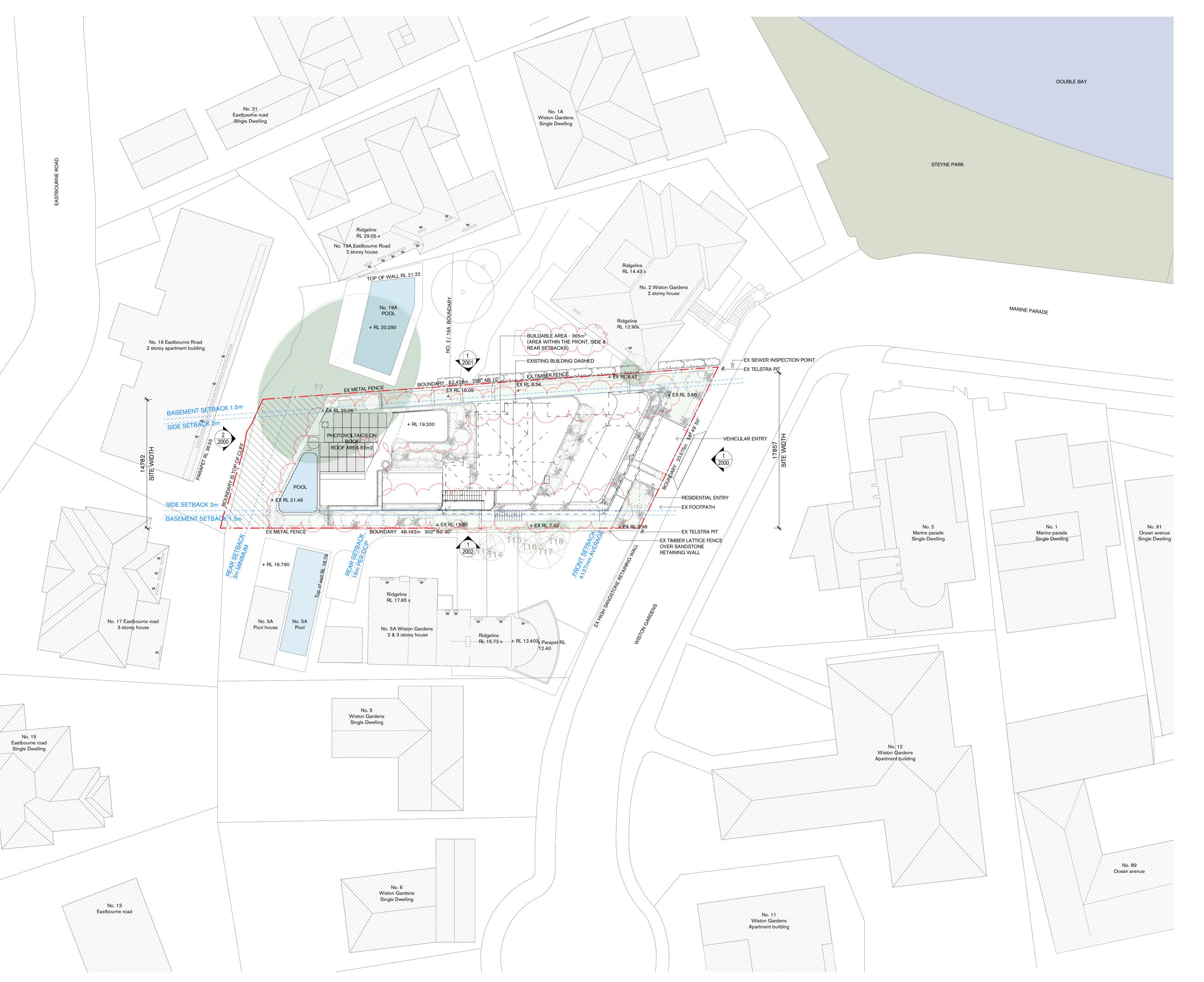
Wiston Gardens Double Bay

3 Wiston Gardens Double Bay, NSW 2028

FOR DEVELOPMENT APPLICATION

Cover Sheet & Basix

TZ
Revision
G



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Nominated Architects Alec Tzannes 4174 Mladen Prnjatovic 7468 Ben Green 7066 Chi Melhem 7754

Notes Regarding "Development Application Drawings" Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

Refer to arborist Andrew Morton's report for further information regarding the labelled trees.

Site Area: 828m² Zone: R3 Medium Density Residential Building Height: 10.5m maximum Acid Sulfate: Class 5

WMC Requested Amendments 15.03.21 For Comment 30.04.21 01.05.21 For Comment

03.05.21 Amendments to Development Application 20.05.21 For Comment 26.05.21 Amendments to Development Application 01.06.21 Amendments to Development Application

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Landscape Architect

Roger Jasprizza, Oculus

0439 362 478 **Combined Services**

IGS

02 8488 4600

Heritage

Stephen Davies, Urbis 0438 029 797

Existing tree retained

Proposed planting

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1:200 @ A1 (Double @ A3)

0 2 4 6 8 10 m

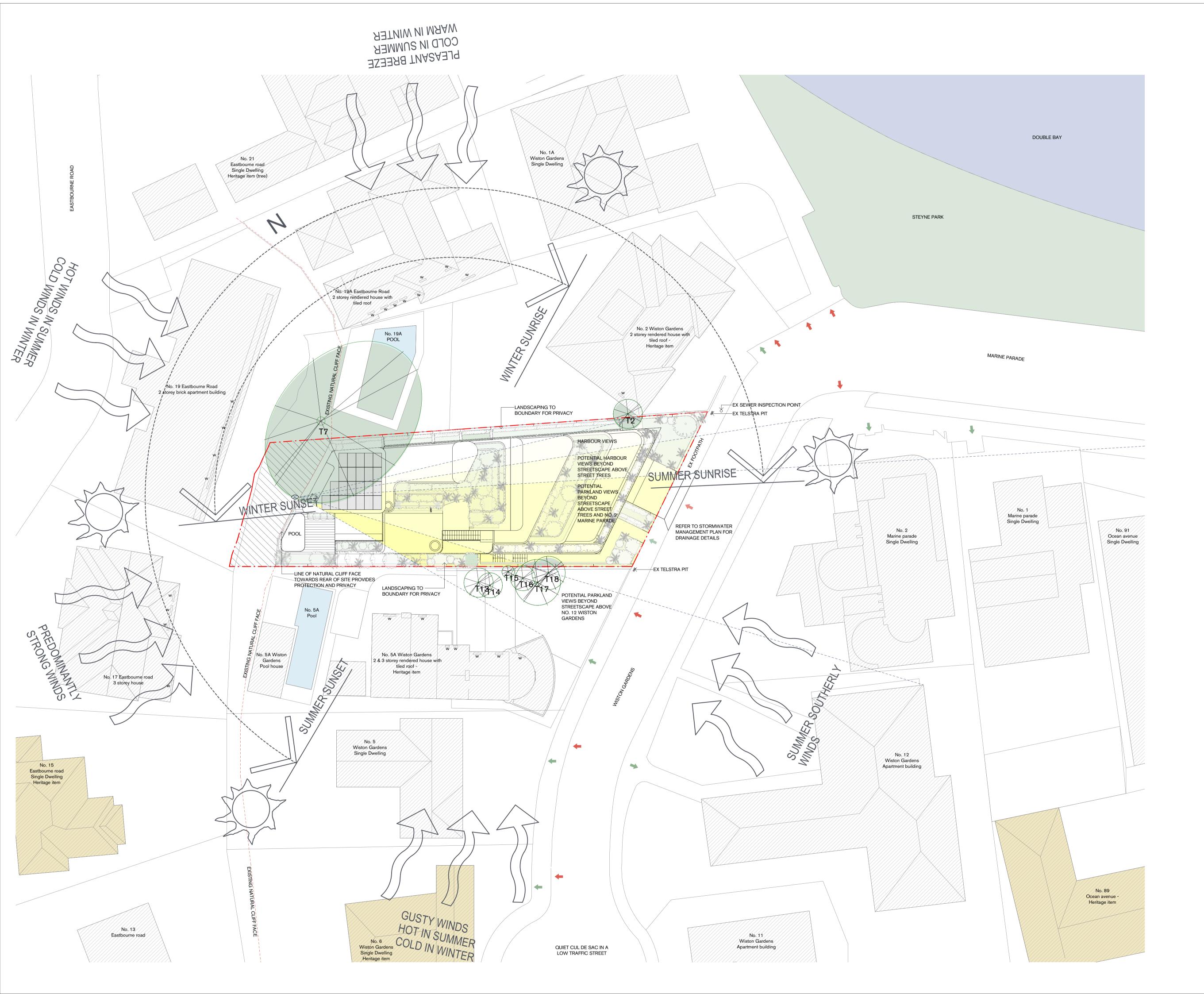
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FOR DEVELOPMENT APPLICATION

Site and Roof Plan

ΤZ 10/03/20 CD 19029 0001



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Existing Pedestrian entry

Proposed Vehicular entry

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Site Area: 828m² Zone: R3 Medium Density Residential Building Height: 10.5m maximum Acid Sulfate: Class 5

10.07.20 For consultant information 29.07.20 For Development Application

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Existing Vehicular entry

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1:200 @ A1 (Double @ A3)

0 2 4 6 8 10 m

Wiston Gardens Double Bay

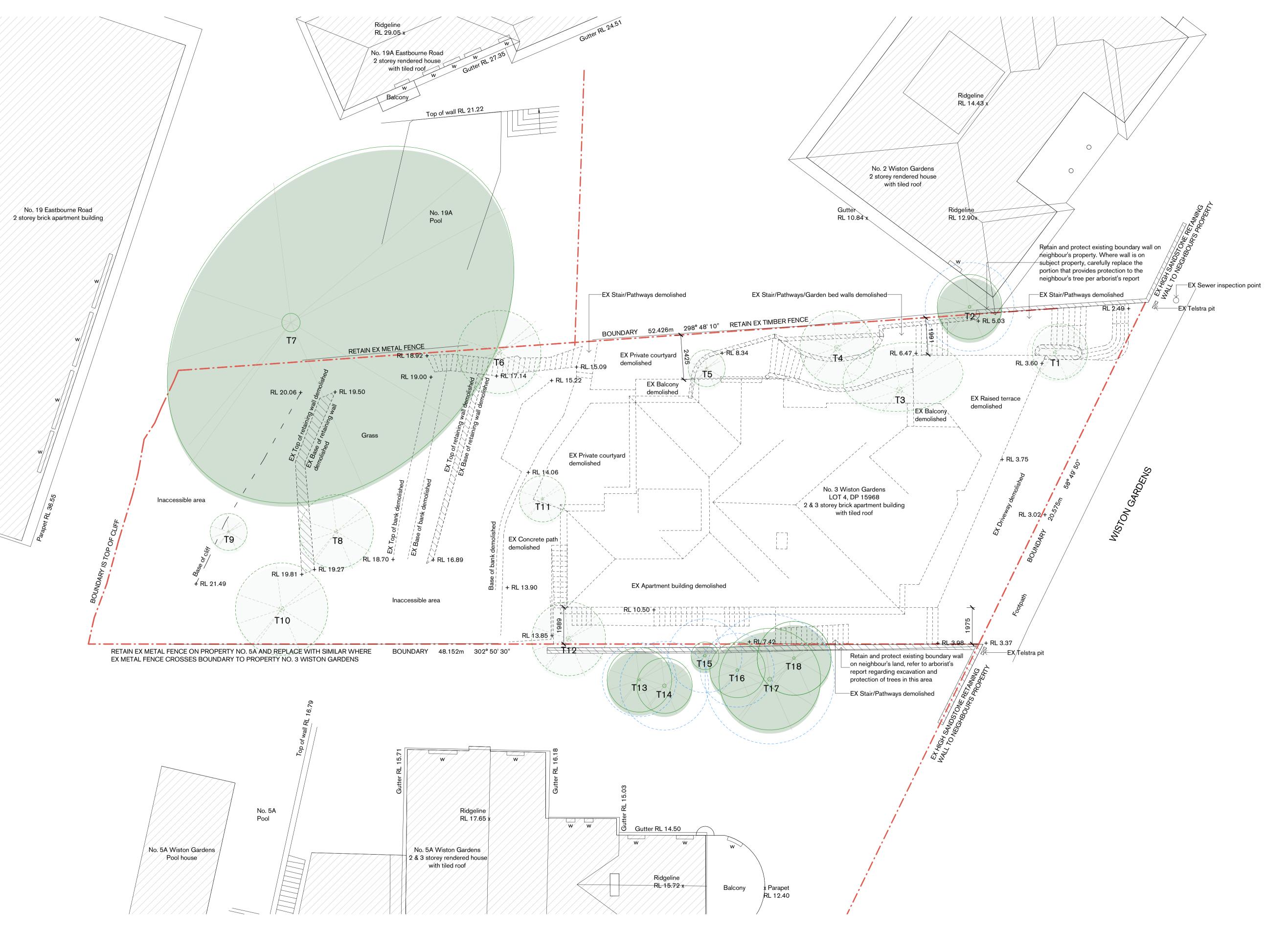
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FOR DEVELOPMENT APPLICATION

Drawing Site Analysis

19029

ΤZ SR 13/05/20



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12.06.20

For consultant information 10.07.20 For consultant information 29.07.20 For Development Application

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Existing tree retained



Existing tree removed

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1:100 @ A1 (Double @ A3)



Wiston Gardens Double Bay

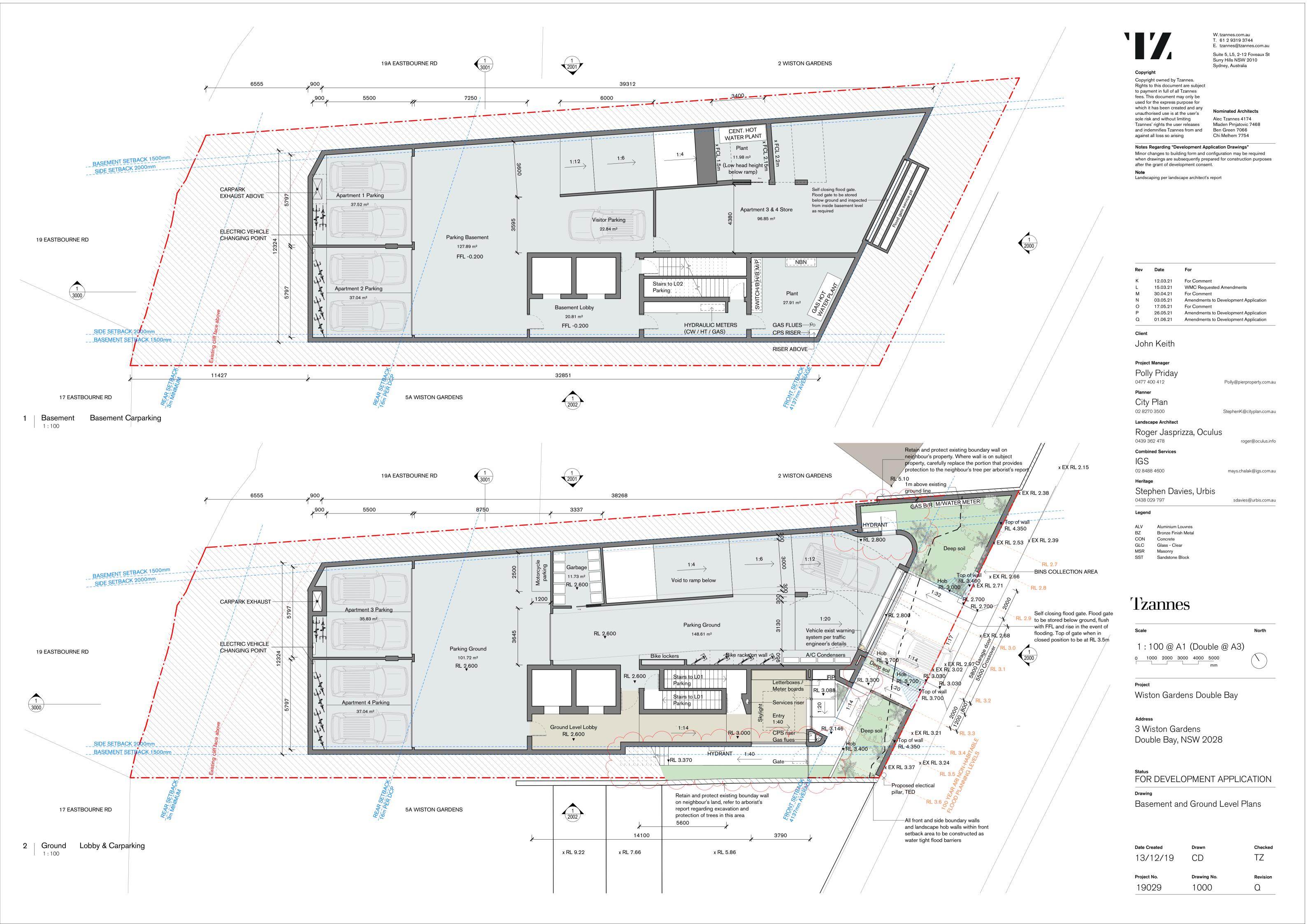
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FOR DEVELOPMENT APPLICATION

Drawing

Demolition Plan

05/05/20 0500 19029





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Notes Regarding "Development Application Drawings" Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

Landscaping per landscape architect's report

Rev	Date	For
1	15.03.21	WMC Requested Amendments
J	30.04.21	For Comment
K	03.05.21	Amendments to Development Application
L	17.05.21	For Comment
М	26.05.21	Amendments to Development Application
N	01.06.21	Amendments to Development Application
0	07.09.21	Amendments to DA

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Legend

Aluminium Louvres Bronze Finish Metal CON Concrete

GLC Glass - Clear MSR Masonry SST Sandstone Block

Tzannes

1:100 @ A1 (Double @ A3)

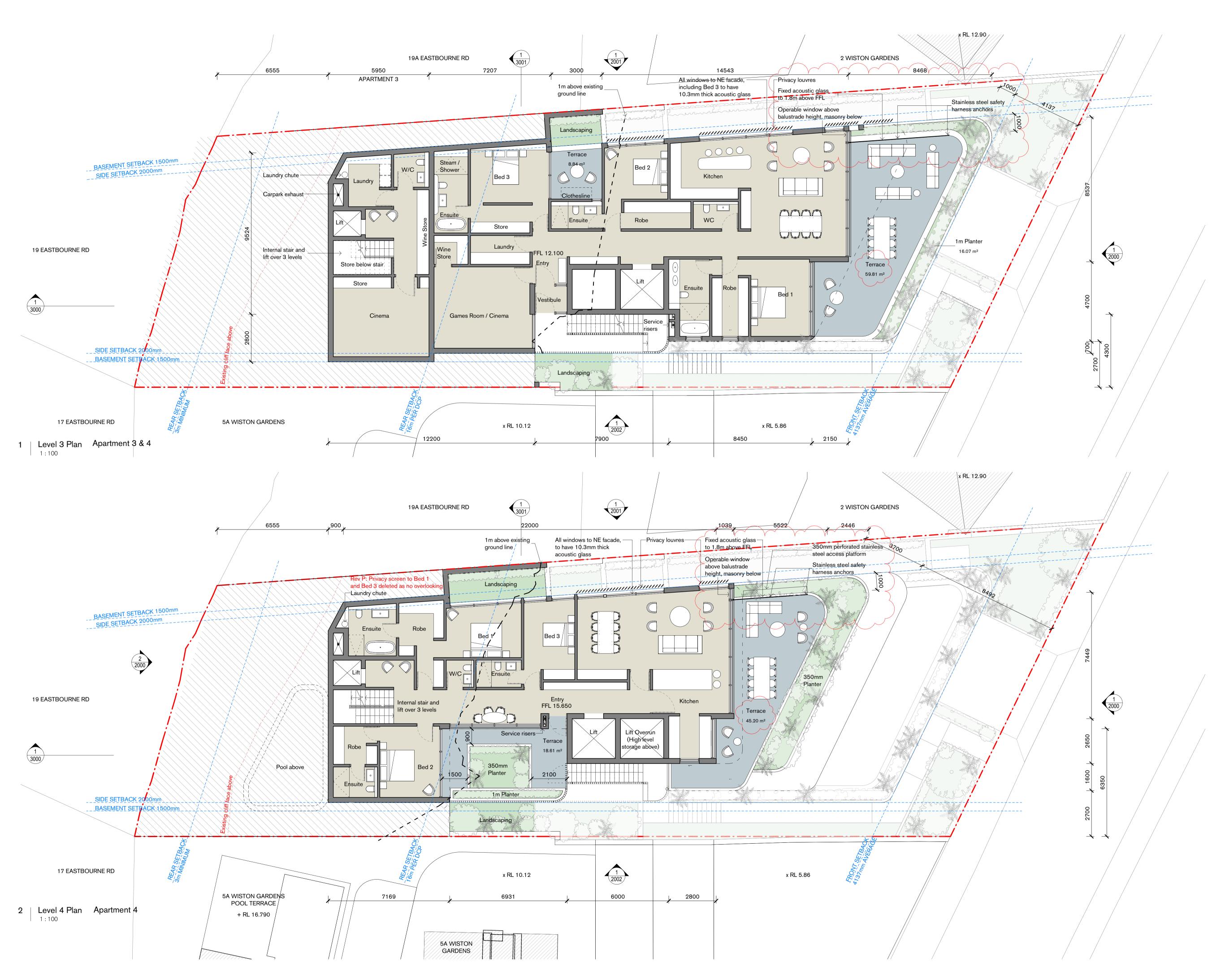
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FOR DEVELOPMENT APPLICATION

Level 1 and Level 2 Plans

Drawn	Checked
CD	TZ
Drawing No.	Revision
1001	Ο
	CD Drawing No.



Sydney, Australia

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Landscaping per landscape architect's report

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L	17.05.21	For Comment
M	20.05.21	For Comment
N	26.05.21	Amendments to Development Application
О	01.06.21	Amendments to Development Application
Р	06.09.21	Amendments to DA
Q	08.09.21	For Comment
R	09.09.21	Amendments to DA

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Legend

Aluminium Louvres

Bronze Finish Metal CON Concrete GLC Glass - Clear

MSR Masonry SST Sandstone Block

Tzannes

1:100 @ A1 (Double @ A3)

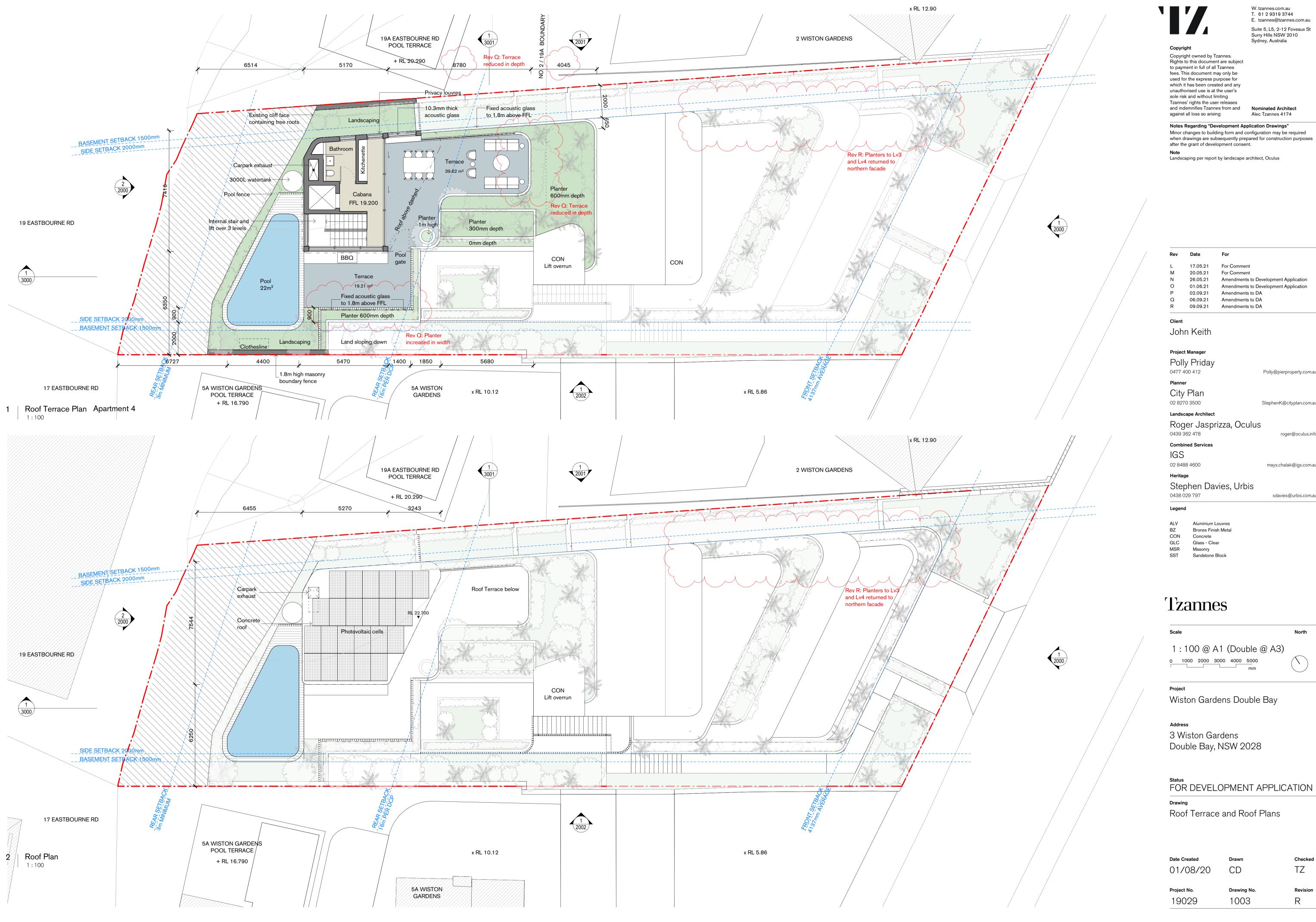
Wiston Gardens Double Bay

3 Wiston Gardens Double Bay, NSW 2028

FOR DEVELOPMENT APPLICATION

Level 3 and Level 4 Plans

Date Created	Drawn	Checke
18/12/19	CD	TZ
Project No.	Drawing No.	Revision
19029	1002	R



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Notes Regarding "Development Application Drawings" Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

Landscaping per report by landscape architect, Oculus

Rev	Date	For
L	17.05.21	For Comment
М	20.05.21	For Comment
Ν	26.05.21	Amendments to Development Application
0	01.06.21	Amendments to Development Application
Р	02.09.21	Amendments to DA
Q	06.09.21	Amendments to DA
D	00 00 01	A

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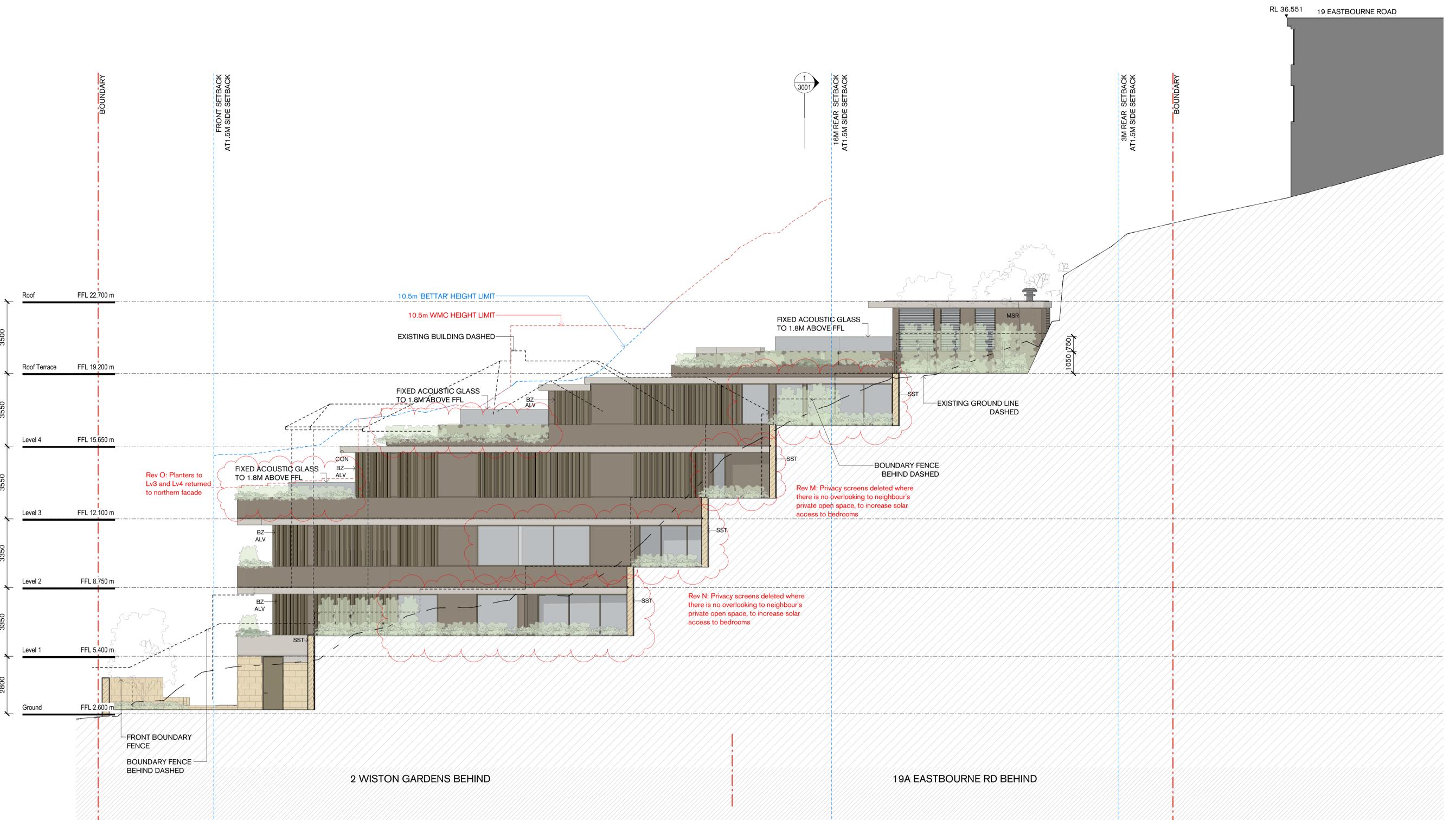
Roger Jasprizza, Oculus

1:100 @ A1 (Double @ A3)

Double Bay, NSW 2028

Roof Terrace and Roof Plans

Date Creat	ted	Drawn	Checked
01/08	3/20	CD	TZ
Project No		Drawing No.	Revision
1902	9	1003	R



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I	03.05.21	Amendments to Development Application
J	20.05.21	For Comment
K	26.05.21	Amendments to Development Application
L	01.06.21	Amendments to Development Application
М	06.09.21	Amendments to DA
N	07.09.21	Amendments to DA
0	09.09.21	Amendments to DA

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Aluminium Louvres

BZ Bronze Finish Metal CON Concrete Glass - Clear MSR SST Sandstone Block

Tzannes

1:100 @ A1 (Double @ A3)

0 1000 2000 3000 4000 5000 mm

Scale

Wiston Gardens Double Bay

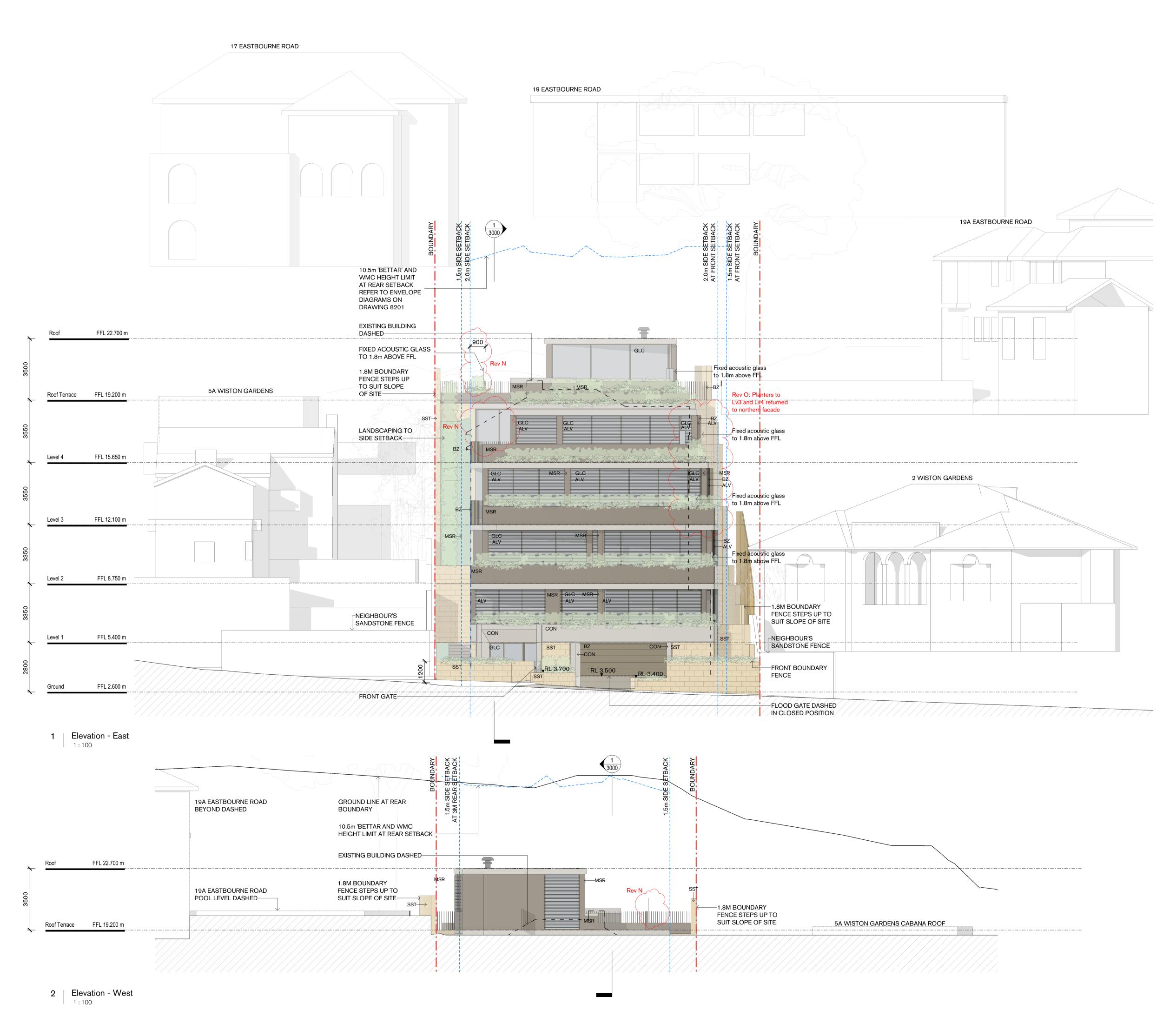
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Status FOR DEVELOPMENT APPLICATION

Elevation - North

19029

Date Created	Drawn	Checke
20/12/19	RW	TZ



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М	02.09.21	Amendments to DA
N	06.09.21	Amendments to DA
Ο	09.09.21	Amendments to DA

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Heritage

SST

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Legend

Aluminium Louvres ΒZ Bronze Finish Metal CON Concrete GLC Glass - Clear MSR Masonry

Sandstone Block

Tzannes

1:100 @ A1 (Double @ A3)

0 1000 2000 3000 4000 5000 mm

Scale

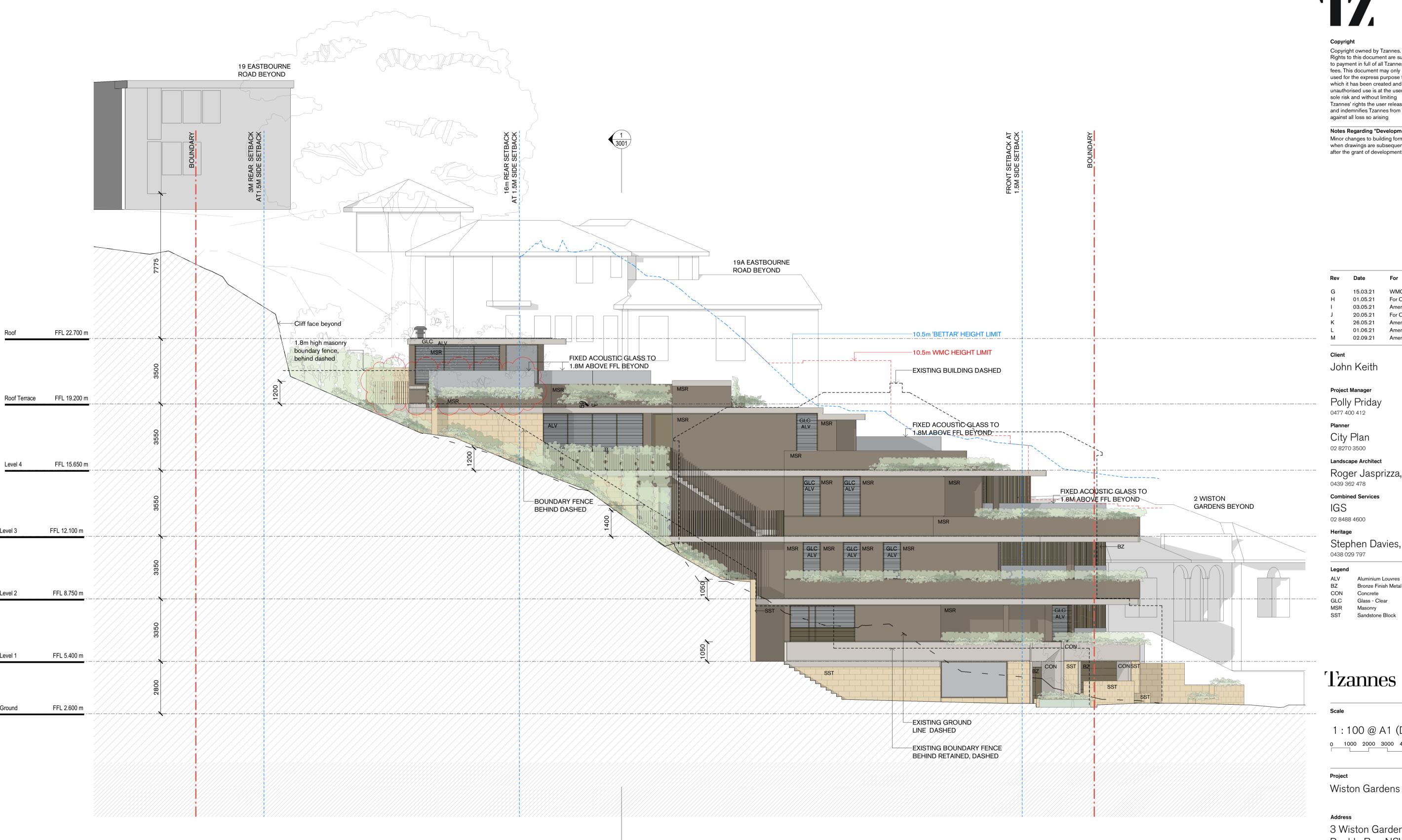
Wiston Gardens Double Bay

3 Wiston Gardens Double Bay, NSW 2028

Status
FOR DEVELOPMENT APPLICATION Drawing

Elevations - East & West

Date Created	Drawn	Checke
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19029	2000	Ο



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	G	15.03.21	WMC Requested Amendments
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	L	01.06.21	Amendments to Development Application
_	М	02.09.21	Amendments to DA

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Aluminium Louvres Bronze Finish Metal CON Concrete Glass - Clear Masonry

Sandstone Block

1:100 @ A1 (Double @ A3)

0 1000 2000 3000 4000 5000 mm

Wiston Gardens Double Bay

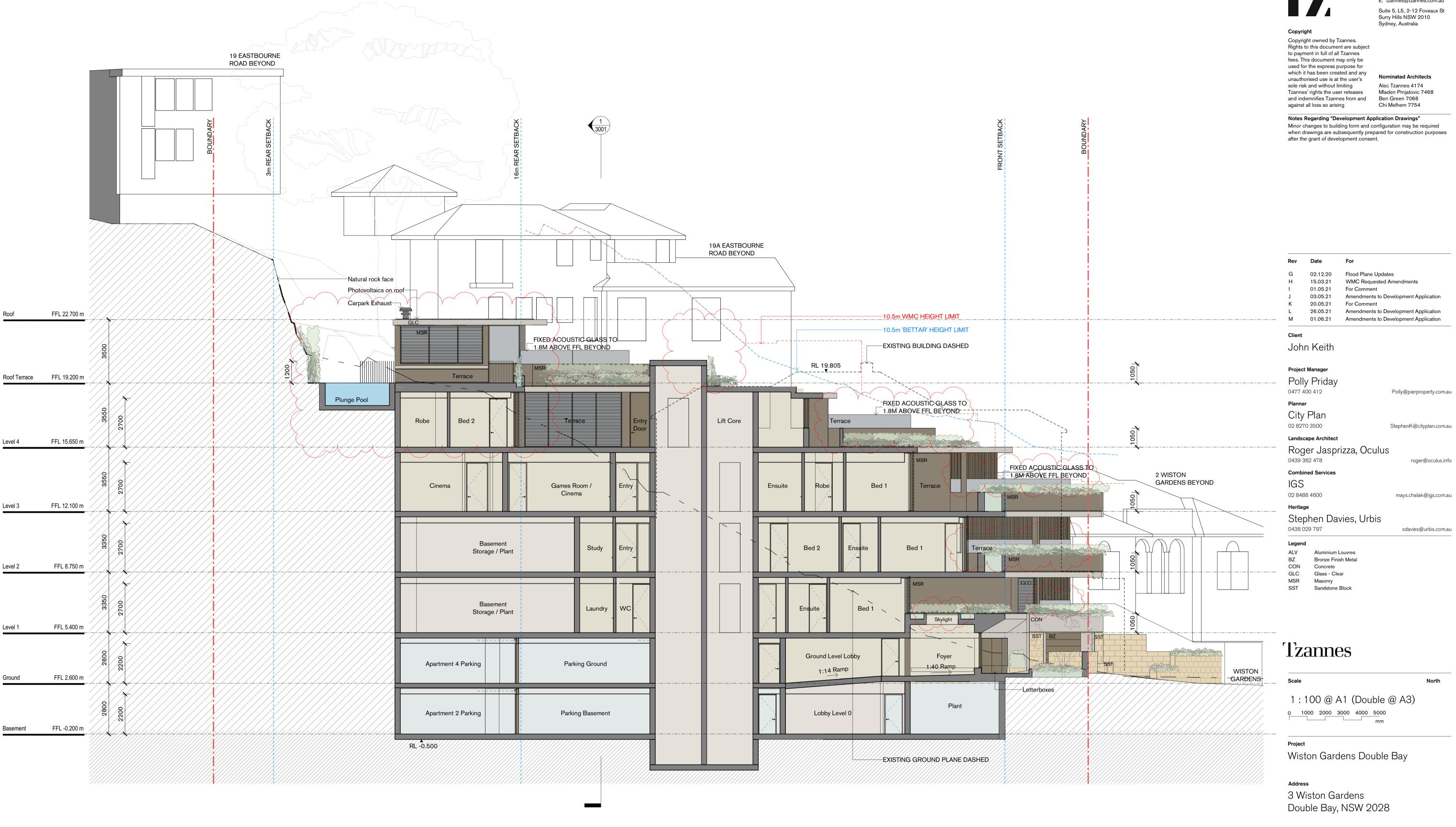
3 Wiston Gardens Double Bay, NSW 2028

Status FOR DEVELOPMENT APPLICATION

Elevation - South

19029

Date Created	Drawn	Chec
20/12/19	RW	TZ
Project No.	Drawing No.	Revis

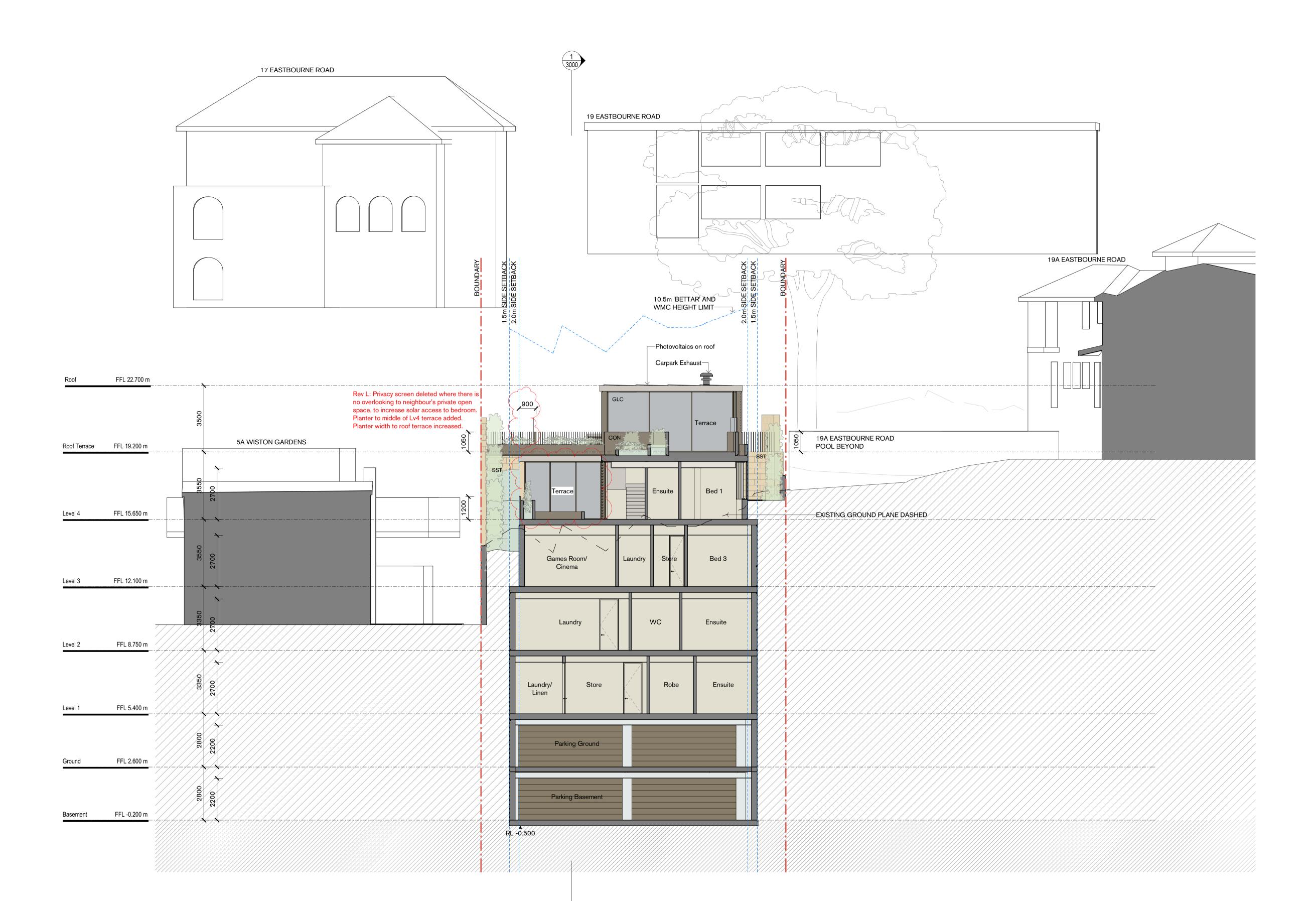


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Status FOR DEVELOPMENT APPLICATION

Drawing Section 1

Date Created	Drawn	Checked
20/12/19	RW	TZ
Project No.	Drawing No.	Revision
19029	3000	М



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L	06.09.21	Amendments to DA

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Combined Services IGS

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Heritage

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ALV BZ Aluminium Louvres Bronze Finish Metal

CON Concrete GLC Glass - Clear MSR Masonry SST Sandstone Block

Tzannes

1:100 @ A1 (Double @ A3)

0 1000 2000 3000 4000 5000 mm

Scale

Wiston Gardens Double Bay

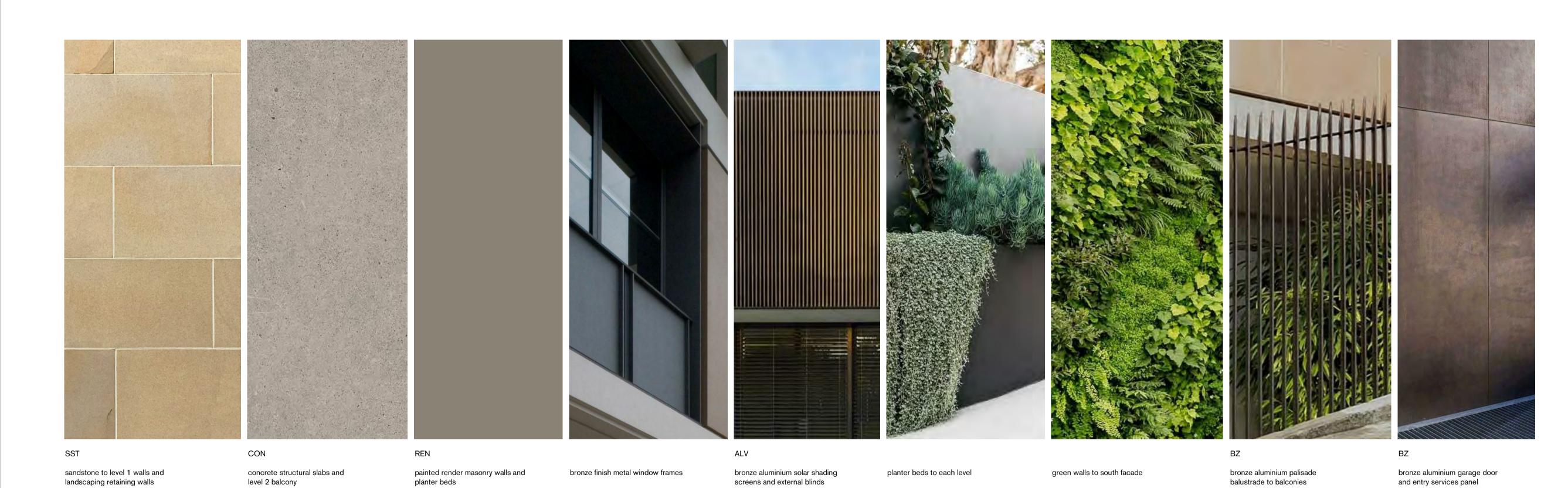
3 Wiston Gardens Double Bay, NSW 2028

Status FOR DEVELOPMENT APPLICATION

Drawing Section 2

19029

Project No.	Drawing No.	Revis
18/12/19	RW	TZ
Date Created	Drawn	Chec



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Alec Tzannes 4174 Jonathan Evans 6613 Mladen Prnjatovic 7468 Ben Green 7066 Chi Melhem 7754

Notes Regarding "Development Application Drawings" Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

A 08.07.20 For information B 29.07.20 For Development Application

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Legend

Tzannes

Scale

N.T.S

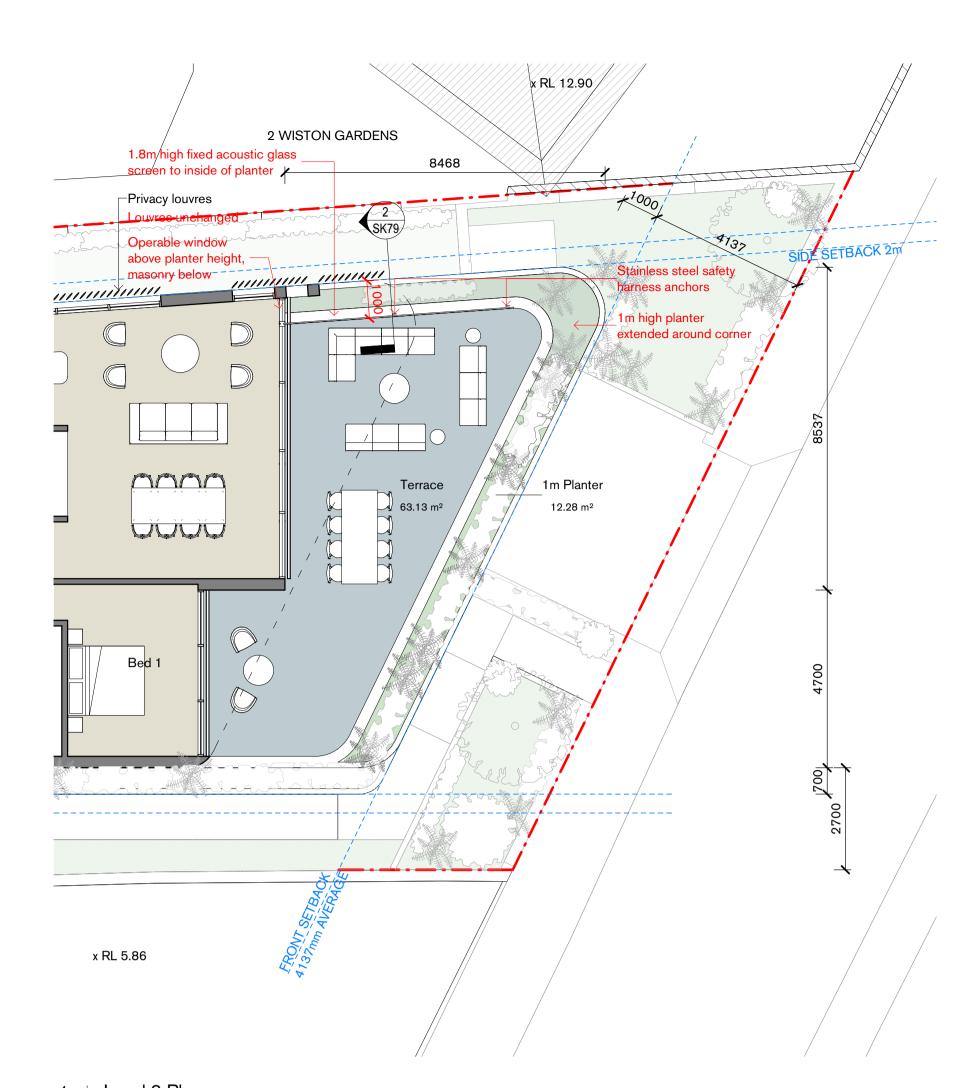
Wiston Gardens Double Bay

3 Wiston Gardens Double Bay, NSW 2028

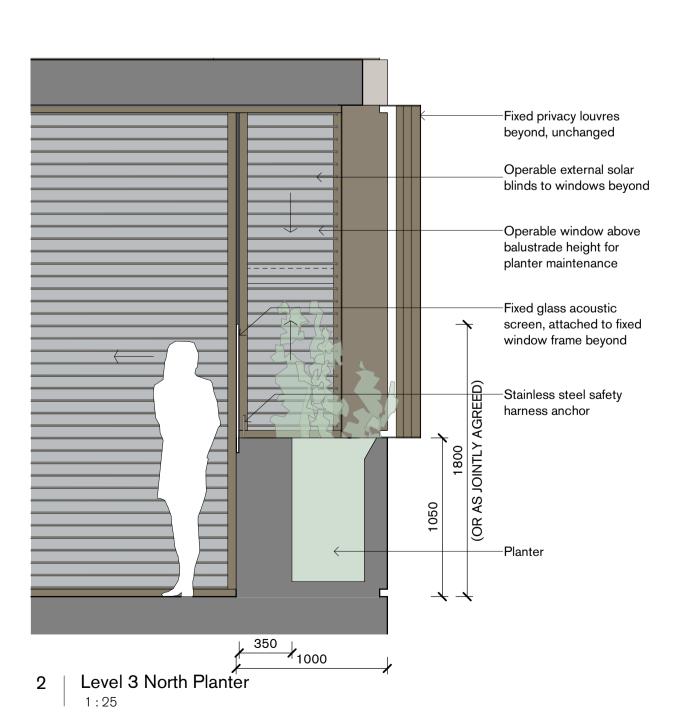
Status
FOR DEVELOPMENT APPLICATION

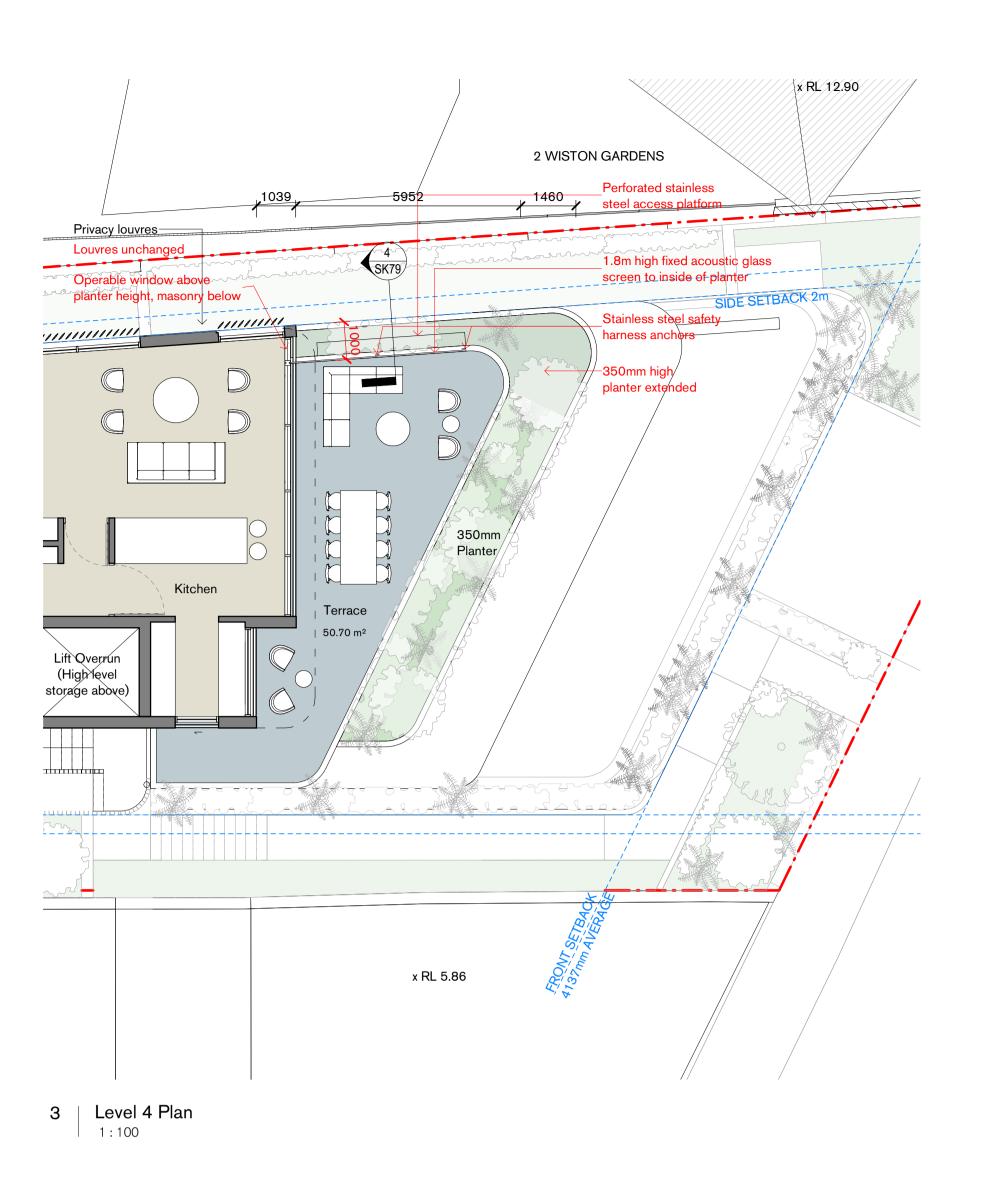
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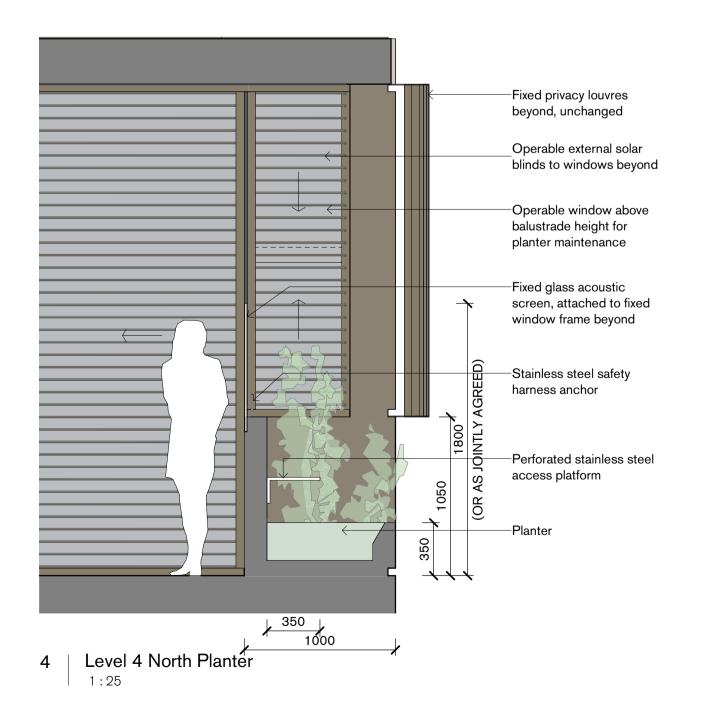
Date Created Checked CD 21/03/20 19029 5800 В



1 | Level 3 Plan







17

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Nominated Architect
Alec Tzannes 4174

Notes Regarding "Development Application Drawings"

Minor changes to building form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

Rev	Date	For	
A	08.09.21	For Comment	
B	09.09.21	Amendments to DA	

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Projec

Wiston Gardens Double Bay

Addres

3 Wiston Gardens Double Bay, NSW 2028

Status FOR DEVELOPMENT APPLICATION

Level 3 and 4 North Planters

Date Created 08.09.21	Drawn CD	Checked TZ
Project No.	Drawing No.	Revision
19029	SK79	В